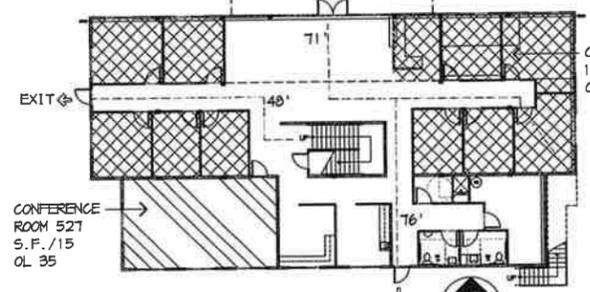
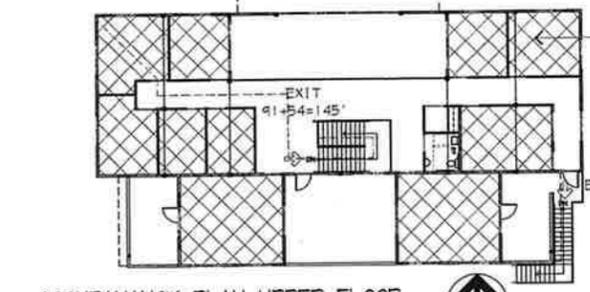


SITE PLAN
1" = 100'-0"



OCCUPANCY PLAN MAIN FLOOR



OCCUPANCY PLAN UPPER FLOOR

- ① 2,874 S.F. * .20 = 575 S.F. OF SHADE 673 S.F. PROVIDED.
- ② 1,198 S.F. * .20 = 239 S.F. OF SHADE 276 S.F. PROVIDED.
- ③ 1,881 S.F. * .20 = 376 S.F. OF SHADE 408 S.F. PROVIDED.
- ④ 2,088 S.F. * .20 = 417 S.F. OF SHADE 468 S.F. PROVIDED.
- ⑤ 328 S.F. * .20 = 65 S.F. OF SHADE 80 S.F. PROVIDED.
- ⑥ 171 S.F. * .20 = 34 S.F. OF SHADE 57 S.F. PROVIDED.

PLUMBING FIXTURE ANALYSIS

WATERCLOSETS

OCCUPANCY	OCC. LOAD	WOMEN	MEN
B	71	36/25 = 1.44	36/25 = 1.44
TOTALS	71	1 REQUIRED	1 REQUIRED
TOTAL PROVIDED		3	3

LAVATORIES

OCCUPANCY	OCC. LOAD	WOMEN	MEN
B	71	36/40 = 0.90	36/40 = 0.90
TOTALS	71	1 REQUIRED	1 REQUIRED
TOTAL PROVIDED		3	3

OCCUPANCY

OFFICE AREAS
(MAIN FLOOR): (1,627/100) + (527/15) = 51 (UPPER FLOOR): 2,017/100 = 20
TOTAL OCCUPANTS: 71

EGRESS:
STAIR WIDTH: 71 x .3 = 21' (MIN 32' REQUIRED)
EGRESS WIDTH (MAIN FLOOR 51 + UPPER FLOOR 20) .2 = 14' (Min 32' REQUIRED)
MAIN FLOOR: 144' EXIT WIDTH PROVIDED
UPPER FLOOR: 36' EXIT WIDTH PROVIDED

PER TABLE 1017.2:
EXIST TRAVEL DISTANCE:
B NOT SPRINKLERED 200'

SITE PLAN
1" = 20'-0"

SITE PLAN NOTES

1. ACCESSIBLE PARKING STALL WITH PAINTED WALKWAY & SIGN. SEE DET. 1 DWG A1.2
2. PAINTED PARKING STRIPING. 4" WIDE LINES. LENGTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
3. NEW CURB CUT FOR ADA PARKING (TYP) DET. 5 DWG A1.2.
4. NEW LANDSCAPE AREA TO BE CLEANED & FREE OF WEEDS. PRUNE & FERTILIZE ALL EXISTING PLANTINGS. INSTALL NEW 2" MIN. LAYER BARK MULCH ALL PLANTING AREAS. THATCH AND FERTILIZE ALL GRASS AREAS. (TYP) SEE L1.1 FOR LANDSCAPING.
5. ACCESSIBLE PARKING SIGN PER DET. 2 DWG A1.2
6. WHEEL STOP. DET. 4 DWG A1.2
7. PAINTED HANDICAP PARKING STRIPING. 1'-0" WIDE BARS WIDTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
8. CONCERTE SIDE WALK. DET 3 DWG A1.2
9. NEW CURB DET 7 DWG A1.2
10. NEW ASPHALT PAVING. DET 6 DWG A1.2
11. FIRE LANE
12. EXISTING BUILDING TO REMAIN
13. PARTIAL REMOVAL OF EXISTING FENCE. SEE L1.1 FOR FURTHER DETAIL
14. NEW FENCE. DET 9 DWG A1.2 SEE L1.1 FOR FURTHER DETAIL
15. NEW FENCE AND GATE. DET 9 DWG A1.2. SEE L1.1 FOR FURTHER DETAIL
16. EXISTING TRASH AREA
17. PARKING LOT LIGHT SEE DWG L1.1 FOR DETAILS
18. PEDESTRIAN STRIPING. 1'-0" x 5'-0" WIDE BARS WIDTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
19. CURB CUT PER DETAIL 14 DWG A1.2
20. CONCRETE SIDEWALK PER CIVIL DRAWINGS. DET. 8 DWG A1.2
21. CURB CUT PER DET. 13 DWG A1.2
22. PEDESTRIAN LIGHT SEE DWG L1.1 FOR DETAILS
23. 3' HIGH MIN LANDSCAPING MOUND
24. BIKE RACK. T-Bike Saddleback Bike Rack - 62" L - 2-3/8" OD galvanized Pipe - Surface Base Plate Mount. Provided by Bicycle Rack Source (800)291-7442.

PROJECT CRITERIA

SCOPE OF WORK
NEW TWO STORY OFFICE BUILDING.

TAX ACCOUNT NO. 31051500200800, 31051500200700
SECTION 15 TOWNSHIP 31 RANGE 05

LEGAL DESCRIPTION
SECTION 15 TOWNSHIP 31 RANGE 05 QUARTER NW PAR B PER CITY ARL BLA PROJ FILE NO PLN-468 REC AFN 201811305002; BEING PTN OF SE1/4 NE1/4 SD SEC

Section 15 Township 31 Range 5 Quarter NW PAR A PER CITY ARL BLA PROJ FILE NO PLN-468 REC AFN 201811305002; BEING PTN OF SE1/4 NE1/4 SD SEC

CODES
2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 INTERNATIONAL FIRE CODE (IFC)
2015 UNIFORM PLUMBING CODE (UPC)

BUILDING CRITERIA

ZONING: G1
PERMISSIBLE USES: 4.120 (TABLE: 20.72-1)
MAX. HEIGHT: 50 F
OCCUPANCY: B
CONSTRUCTION TYPE: VB
FIRE SPRINKLER: NO
FIRE ALARM: NO
PROPERTY SIZE: 4.88 + 8.98
TOTAL: 13.86 ACERS

PARKING CALCULATIONS

REQUIRED PARKING:
PERMISSIBLE USE:
TABLE 20.40-1 Use: 4.120
TABLE: 20.72.1
1 SPACE PER 400 SQUARE FEET OF G.F.A.
OFFICE:
MAIN FLOOR: 4,451 G.F.A.
UPPER FLOOR: 2,970 G.F.A.
TOTAL: 7,421 G.F.A.
1 PER 400 SF GROSS FLOOR AREA
(7,421 G.F.A.) / 400 = 19 STALLS

TOTAL REQUIRED: 19 STALLS
PARKING PROVIDED: 42 STALLS

PARKING LOT LANDSCAPE CALCULATIONS

TOTAL PARKING LOT AREA: 17,715 S.F.
LANDSCAPING REQ'D. (10% OF PARKING AREA) = 1,772 S.F.
LANDSCAPING PROVIDED: 10,365 S.F.

PER TABLE 1106.1.
1 ACCESSIBLE PARKING SPACES ARE REQUIRED



CITY OF ARLINGTON NORTH CONSTRUCTION DRAWING REVIEW ACKNOWLEDGMENT

THIS PLAN HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE CITY OF ARLINGTON CODES AND ORDINANCES. CONFORMANCE OF THE DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRE OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS AND/OR AUTHORITIES WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WSDOT HYDRAULIC PROJECT APPROVAL (HPA), WSDOT NOTICE OF INTENT (NOI), ARMY CORP OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE (NOI), ENDANGERED SPECIES ACT.

BY: Heva Neaton, PE, Development Services Manager DATE: _____

THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER 18 MONTHS FROM THE DATE SHOWN ABOVE, OR UPON EXPIRATION OF PRELIMINARY PLAN OR SITE PLAN APPROVAL.

DRAWING INDEX

CIVIL
C1.0 DEMO & SWPPP PLAN
C2.0 SEWER & WATER PLAN
C3.0 STORM DRAINAGE PLAN
C3.1 DRAINAGE PROFILES & DETAILS
C4.0 PAVING PLAN
C4.1 STANDARD NOTES
C4.2 CITY DETAILS

ARCHITECTURE
A1.1 SITE PLAN
A1.2 SITE DETAILS
L1.1 LANDSCAPE PLAN
A2.1 FLOOR PLANS
A2.2 REFLECTED CEILING PLANS
A3.1 ELEVATIONS
A4.1 BUILDING SECTIONS
A5.1 DOOR, WINDOW AND FINISH SCHEDULES
A5.2 INTERIOR ELEVATIONS, CABINETS AND FIXTURE HEIGHTS
A5.3 DETAILS

STRUCTURAL
S1.0 - GENERAL STRUCTURAL NOTES
S1.1 - GENERAL STRUCTURAL NOTES
S1.2 - GENERAL STRUCTURAL NOTES
S2.0 - FOUNDATION PLAN
S2.1 - UPPER FLOOR FRAMING PLAN
S2.2 - ROOF FRAMING PLAN
S3.0 - FOUNDATION DETAILS
S4.0 - MOOD DETAILS
S4.1 - MOOD DETAILS
S4.2 - MOOD DETAILS
S4.3 - MOOD DETAILS
S5.0 - STEEL DETAILS
S6.0 - MOOD/STEEL DETAILS

UTILITY DISTRICTS
POWER: PUD
WATER: ARLINGTON WATER DEPARTMENT
SEWER: CITY OF ARLINGTON
TELEPHONE: -

SEPARATE SUBMITTALS

ELECTRICAL
MECHANICAL
PLUMBING
SIGNS

*NOTE: THE ARCHITECT OF RECORD SHOULD STAMP SUBMITTALS AS REVIEWED AND TO FORWARD THE SUBMITTALS TO THE BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO THE PERFORMANCE OF WORK.

Date:	For:
24 JANUARY 21	FOR PERMIT
26 MAY 21	REVISION 1
15 JULY 21	DESIGN REVIEW
16 AUGUST 21	DESIGN REVIEW REVISION A
03 SEPTEMBER 21	DESIGN REVIEW REVISION A

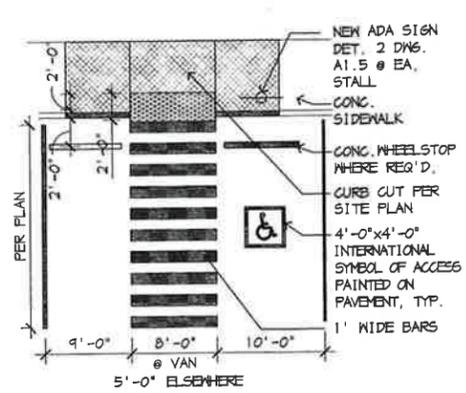


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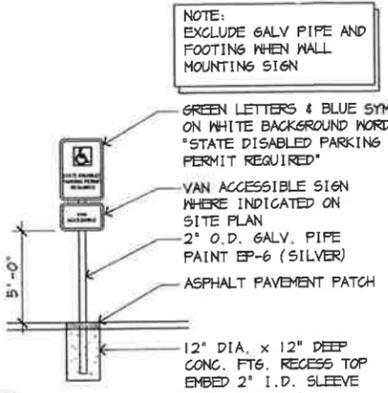


A New Operations Building for:
REECE CONSTRUCTION
5802 Cemetery Road
Arlington, Washington

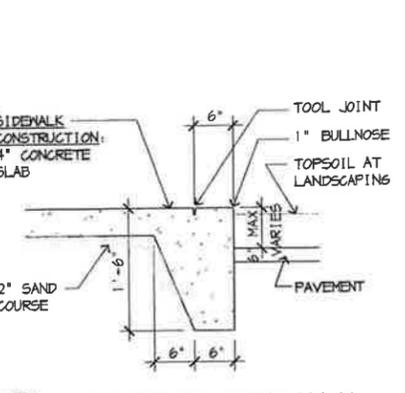
Drawing:
A1.1



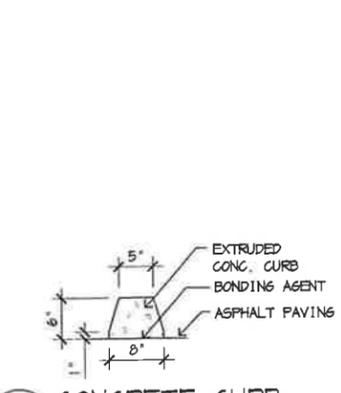
1 ADA PARKING STALL
NO SCALE



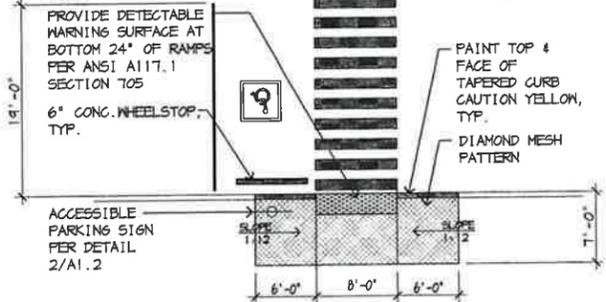
2 ACCESSIBLE SIGN
NO SCALE



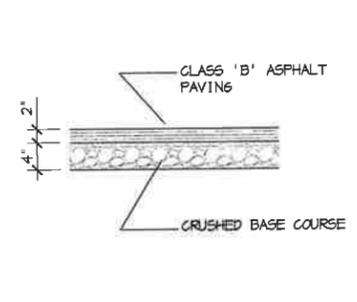
3 CONCRETE SIDEWALK
NO SCALE



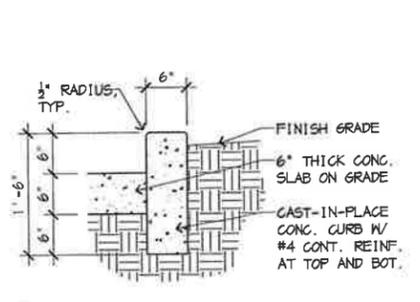
4 CONCRETE CURB
1" = 1'-0"



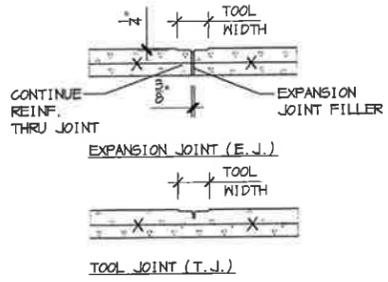
5 CURB CUT DETAIL (TYP)
1/8" = 1'-0"



6 ASPHALT PAVING
NO SCALE



7 6" CONCRETE CURB
1" = 1'-0"



** PROVIDE EXPANSION JOINTS AT 14'-0" O.C. MAX AND TOOL JOINTS AT 6'-0" O.C. MAX. COORDINATE LAYOUT WITH ARCHITECT.

8 SIDEWALK JOINTS
1/2" = 1'-0"

POST PER FRAMEWORK OR GATE SCHED.

6'-0"	END, CORNER FULL POSTS	2.375'	3.65
6'-0"	LINE POSTS 8'-0" O.C. MAX	2.375'	3.65

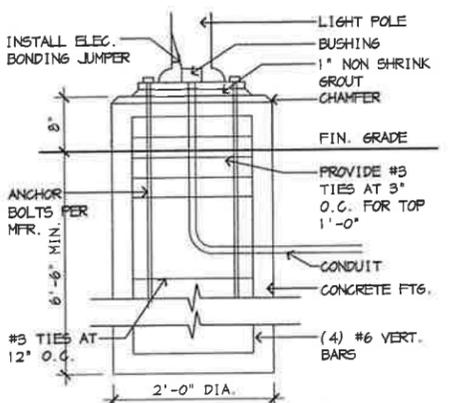
GATE SCHEDULE

LEAF WIDTH	COMPONENT	DIA. WT. / FT.
<6'-0"	GATE POSTS	2.875" 5.74
<6'-0"	GATE FRAMES	2.915" 3.65

FENCE HGT.

A	B
6'-0"	2'-0"
8'-0"	3'-0"

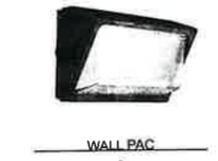
9 CHAIN LINK FENCE
NO SCALE
NOTE PER CITY COMMENT: 03 SEPTEMBER 2021: Black vinyl chain link is required along the frontage for any new or replaced fencing. Galvanized chain link is allowed throughout the interior of the site.



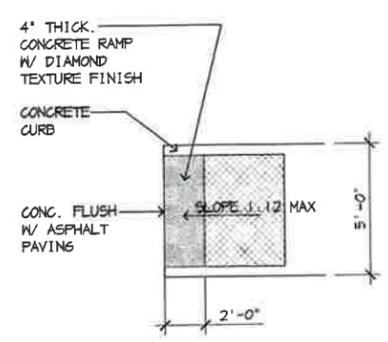
10 LIGHT POLE BASE
1" = 1'-0"



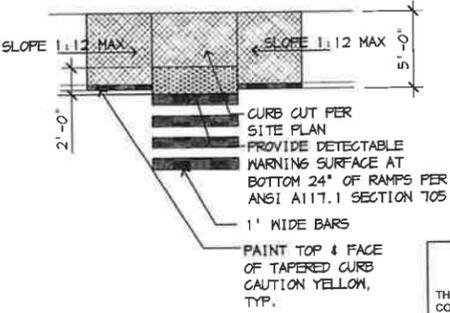
11 LIGHT POLE HEADS
1" = 1'-0"



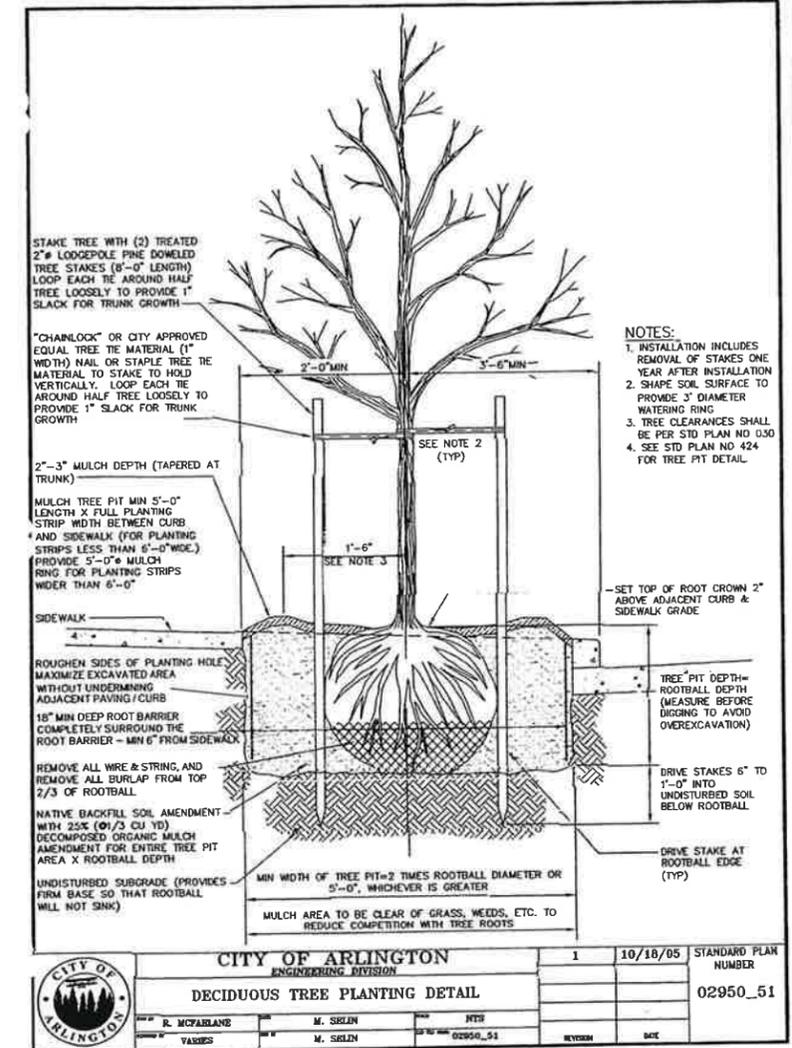
12 WALL PACK
1" = 1'-0"



13 H.C. RAMP
1/4" = 1'-0"



14 CURB CUT
1/2" = 1'-0"



CITY OF ARLINGTON
ENGINEERING DIVISION
DECIDUOUS TREE PLANTING DETAIL
1 10/18/05 STANDARD PLAN NUMBER 02950_51
R. MOFARLANE M. SELIN
VARIES M. SELIN



CITY OF ARLINGTON
CONSTRUCTION DRAWING REVIEW APPROVAL
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.
BY: Nova Heaton, PE, Development Services Manager
DATE: THIS APPROVAL IS VALID FOR 18 MONTHS

Date: 24 JANUARY 21 FOR PERMIT
26 MAY 21 REVISION 1
15 JULY 21 DESIGN REVIEW
18 AUGUST 21 DESIGN REVIEW REVISION A
09 SEPTEMBER 21 DESIGN REVIEW REVISION A



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2017 ARCHITECT

A New Operations Building for:
REECE CONSTRUCTION
5802 Cemetery Road
Arlington, Washington

Drawing: A1.2
Job Number: 20c-4254
PLN-866

SITE DETAILS & LANDSCAPE PLAN (OFFICE BUILDING)

SITE PLAN NOTES

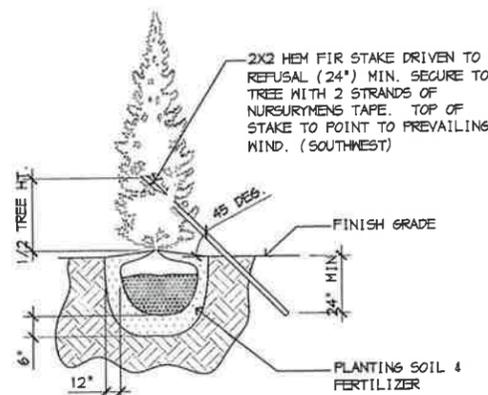
- ACCESSIBLE PARKING STALL WITH PAINTED WALKWAY & SIGN. SEE DET. 1 DWS A1.2
- PAINTED PARKING STRIPING. 4" WIDE LINES. LENGTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
- NEW CURB CUT FOR ADA PARKING. (TYP) DET. 5 DWS A1.2.
- NEW LANDSCAPE AREA TO BE CLEANED & FREE OF WEEDS. PRUNE & FERTILIZE ALL EXISTING PLANTINGS. INSTALL NEW 2" MIN. LAYER BARK MULCH ALL PLANTING AREAS. THATCH AND FERTILIZE ALL GRASS AREAS. (TYP) SEE L1.1 FOR LANDSCAPING.
- ACCESSIBLE PARKING SIGN PER DET. 2 DWS A1.2
- WHEEL STOP. DET. 4 DWS A1.2
- PAINTED HANDICAP PARKING STRIPING. 1'-0" WIDE BARS WIDTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
- CONCRETE SIDE WALK. DET. 3 DWS A1.2

- NEW CURB DET. 7 DWS A1.2
- NEW ASPHALT PAVING. DET. 6 DWS A1.2
- FIRE LANE
- EXISTING BUILDING TO REMAIN
- PARTIAL REMOVAL OF EXISTING FENCE. SEE L1.1 FOR FURTHER DETAIL
- NEW FENCE. DET. 9 DWS A1.2 SEE L1.1 FOR FURTHER DETAIL
- NEW FENCE AND GATE. DET. 9 DWS A1.2. SEE L1.1 FOR FURTHER DETAIL
- EXISTING TRASH AREA
- PARKING LOT LIGHT SEE DWS L1.1 FOR DETAILS
- PEDESTRIAN STRIPING. 1'-0" x 5'-0" WIDE BARS WIDTH AS INDICATED ON PLAN. COLOR: TRAFFIC WHITE.
- CURB CUT PER DET. 14 DWS A1.2
- CONCRETE SIDEWALK PER CIVIL DRAWINGS. DET. 8 DWS A1.2
- CURB CUT PER DET. 13 DWS A1.2
- PEDESTRIAN LIGHT SEE DWS L1.1 FOR DETAILS
- 3' HIGH MIN LANDSCAPING MOUND
- BIKE RACK. 7-Bike Saddleback Bike Rack - 62"L - 2-3/8"OD Galvanized Pipe - Surface Base Plate Mount. Provided by Bicycle Rack Source (800) 281-1442

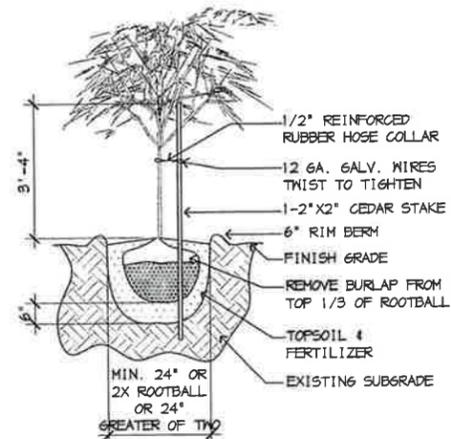
- PER 20.76.130 SHADE TREES IN PARKING AREA
- 2,874 S.F. * .20 = 575 S.F. OF SHADE 673 S.F. PROVIDED.
 - 1,148 S.F. * .20 = 230 S.F. OF SHADE 276 S.F. PROVIDED.
 - 1,881 S.F. * .20 = 376 S.F. OF SHADE 403 S.F. PROVIDED.
 - 2,038 S.F. * .20 = 408 S.F. OF SHADE 468 S.F. PROVIDED.
 - 328 S.F. * .20 = 66 S.F. OF SHADE 80 S.F. PROVIDED.
 - 171 S.F. * .20 = 34 S.F. OF SHADE 57 S.F. PROVIDED.

NOTE: SEE TREE DETAIL ROOT BARRIER FOR THE TREES PLANTED NEXT TO THE ROW OF CEMETERY ROAD.

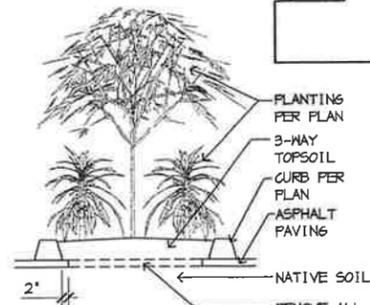
PLANTING SCHEDULE					
SYMBOL	QUANTITY	BOTANICAL	COMMON	SIZE	REMARKS
	90	TILIA CORDATA	LITTLE LEAF LINDEN	2" CAL.	MIN 6" TALL AT PLANTING
	24	RHODODENDRON SCHLIPFENBACHII	ROYAL AZALIA	2 GAL.	24" TALL
	56	FRAXILIS LAUROCERASUS	OTTO LUYKEN	2 GAL.	24" TALL
	85	RHODODENDRON GALIFORNICUM	NATIVE RHODODENDRON	2 GAL.	24" TALL MIXED VARIETY
	AS REQ'D	ARCTOSTAPHYLOS UVA-URSI	KINNICKINNIK	4" POTS	24" O.C.
	AS REQ'D	GRASS	LAWN		



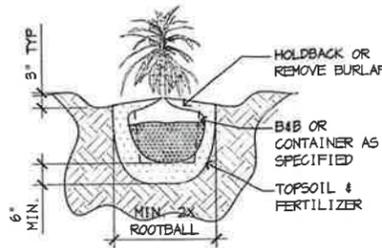
EVERGREEN TREE PLANTING
NO SCALE



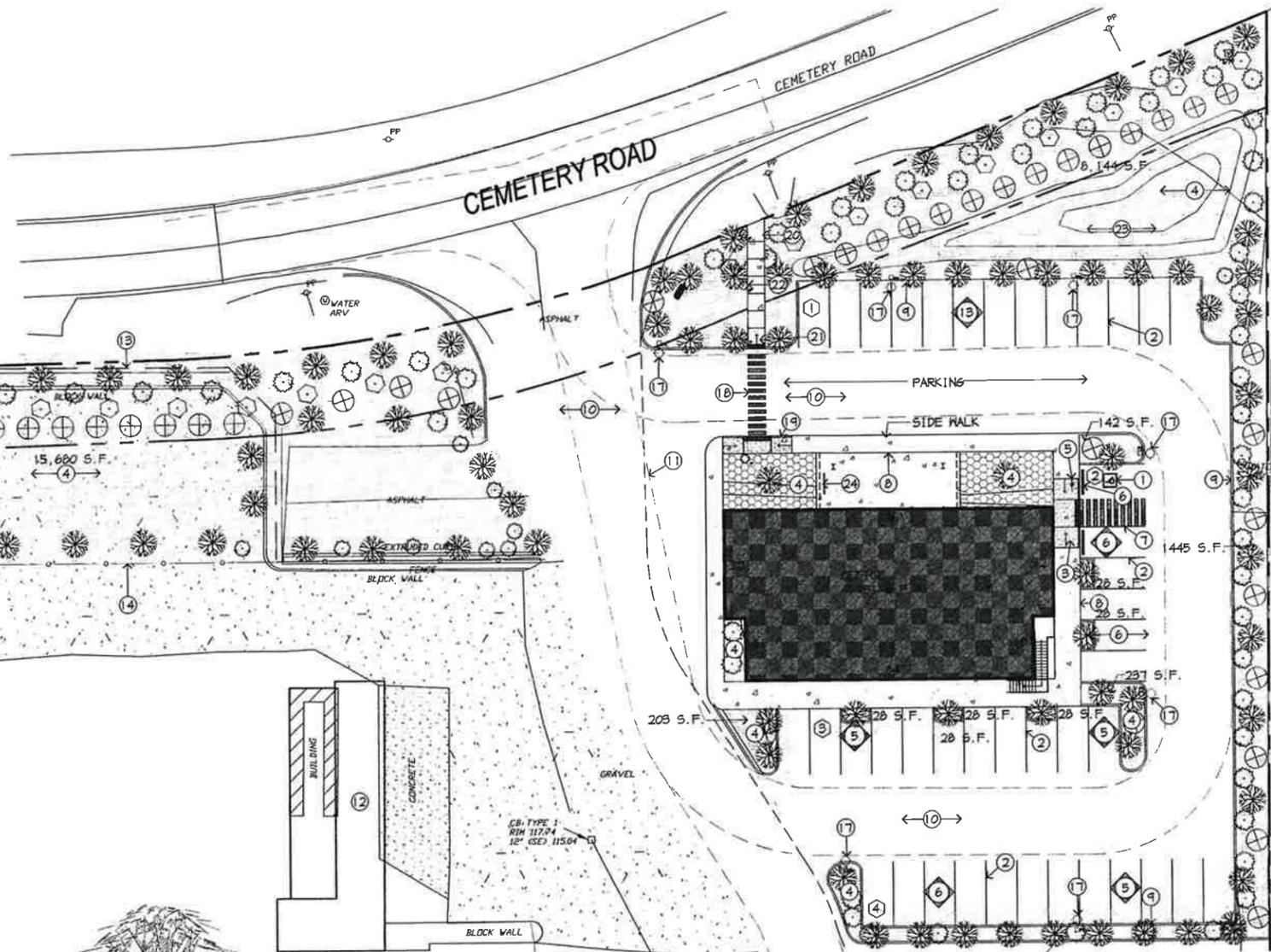
DECIDUOUS TREE PLANTING
NO SCALE



PLANTER DETAIL
NO SCALE



SHRUB PLANTING
NO SCALE



LANDSCAPE PLAN
1" = 25'-0"

2018 WSEC LIGHTING ALLOWANCES

Table C405.5.3.(2)

PARKING LOT	TOTAL PARKING AREA = 19,760 FT ² AREA X HSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS 19,760 FT ² X 0.06 MATTS/FT ² = 221 TOTAL ALLOWED MATTS 7 P-Lot LIGHTS @ 100M EA + TOTAL MATTAGE = 500 MATTS
BUILDING WALKWAYS < 10' WIDE	TOTAL 5" WALKWAY LIN. FT = 175 S.F. WALKWAY LIN. FT HSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS 175 S.F. X 5 MATTS/FT = 875 MATTS ALLOWED AT 5" WALKWAYS. TOTAL AT WALKWAYS = 80 MATTS (20M LED) 4 WALKWAY LIGHTS = 80 MATTS

LIGHT LEGEND

	PARKING LOT LIGHTING (100M) LED SHOE BOX FIXTURE 25" POLE W/18" DIA 24" HIGH CONC. BASE DET 10 & 11 DWS A1.2
	WALKWAY PEDESTRIAN LIGHTING @ 75 M EACH (20M) LED MATT EQUIVALENT 10' POLE. DET 15 DWS A1.2



LANDSCAPE NOTES

- Backfill mix for planting trees, shrubs and ground cover shall be: One part by volume of 3-way topsoil mixed with one part native soil.
- Planter areas to receive 3-way topsoil.
- All trees, shrubs and groundcover shall be fertilized with Agro 4-2-2 transplanter or equal at planting time.
- After planting of all plants, mulch all areas with a minimum of 2" of medium fine bark mulch.
- Owner to approve planting prior to installation.
- Plant types may be substituted due to availability with similar species and varieties.
- Landscaping contractor responsible for maintenance during construction period.
- All plants to be healthy at the time of planting and guaranteed for one full year or until the next spring (whichever is greater).
- Remove existing weeds and grasses prior to planting landscape areas.
- See drawing L1.1 for planting and landscaping details.
- A sprinkler system is required for this project. Design and installation of the system will be the responsibility of the bidding contractor. General contractor to submit shop drawings to the architect prior to installation of the system.

CITY OF ARLINGTON CONSTRUCTION DRAWING REVIEW APPROVAL

THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.

BY: Nova Heaton, PE, Development Services Manager

DATE: _____ THIS APPROVAL IS VALID FOR 18 MONTHS

Date:	For:
24 JANUARY 21	FOR PERMIT
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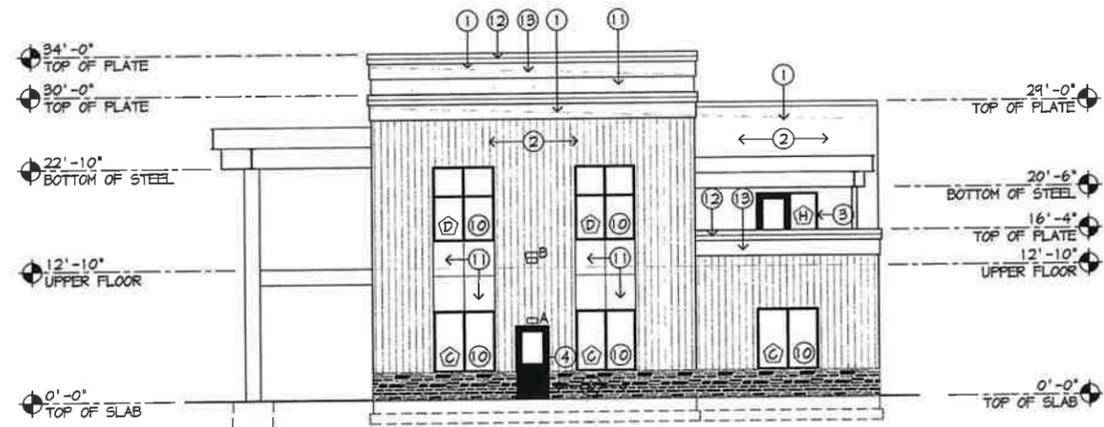
2017
ARCHITECTURE

A New Operations Building for:
REECE CONSTRUCTION
5802 Cemetery Road
Arlington, Washington

Drawing:
L1.1
Job Number
20c-4254

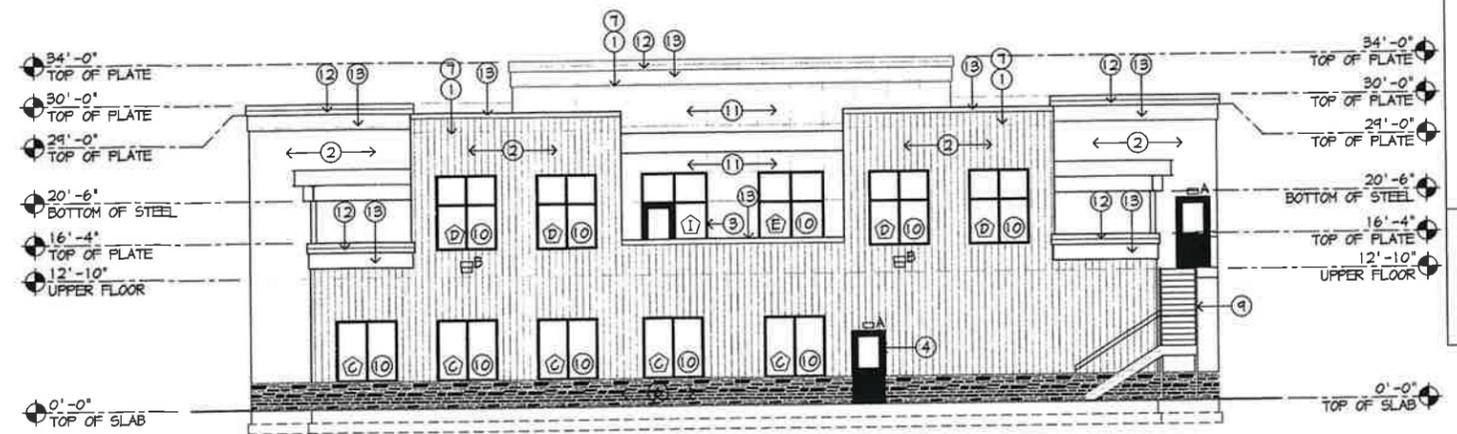
PLN-866

20c-4254



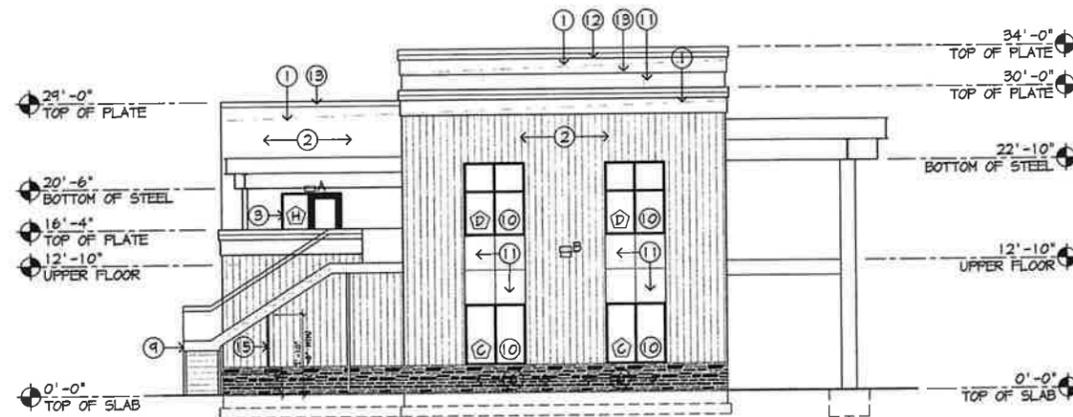
WEST ELEVATION

1/8" = 1'-0"



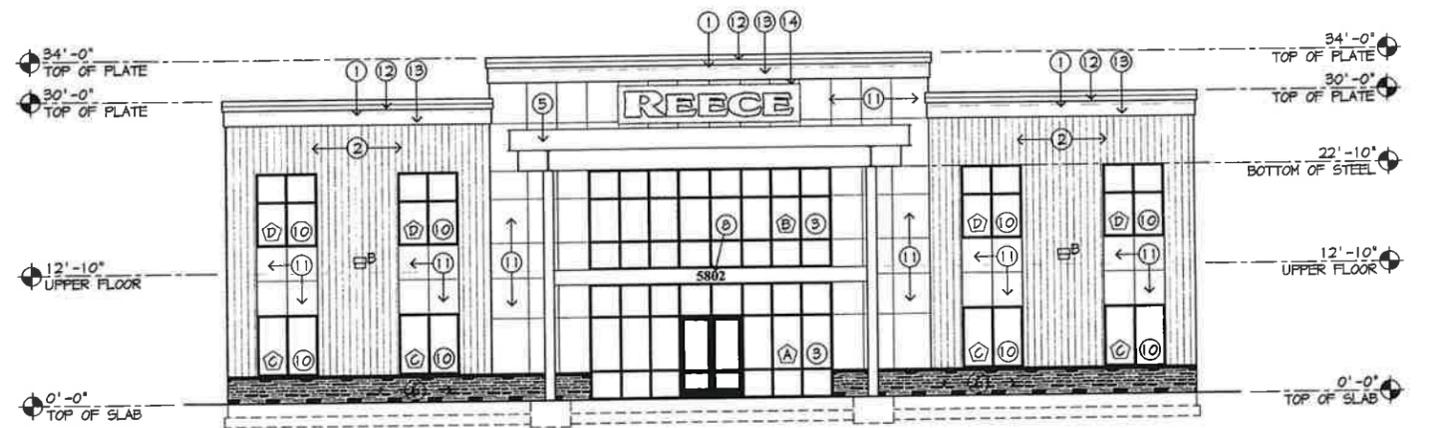
SOUTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"

ELEVATION NOTES

1. TPO ROOF ON FRAMING OVER R-30 RIGID INSULATION.
2. METAL BUILDING SIDING: 26 GA. PREFINISHED METAL BUILDING PANEL TO MATCH METAL SHOP BUILDING.
3. EXTERIOR WINDOWS: STOREFRONT FRAMING W/ 1" INSULATED GLASS. SEE WINDOW SCHEDULE DWG. A5.1. (U-VALUE < 0.30 AND SHGC < 0.40).
4. HOLLOW METAL STEEL DOORS AND FRAMES: 16 GA INSULATED METAL DOORS (DUAL GLAZED SAFETY GLASS WITH U-VALUE < .60 AND SHGC < 0.40).
5. MEMBRANE ROOF ON FRAMING @ ENTRANCE W/ "H" STEEL POSTS. REFER TO ARCHITECTURAL DETAIL AND STRUCTURAL DRAWINGS FOR CONNECTIONS.
6. STONE VENEER BASE: PREMANUFACTURED STONE VENEER OVER MOISTURE BARRIER ON 1/2" EXTERIOR SHEATHING ON 2X6 @ 16" O.C..
7. PREFINISHED ROOF DRAINS AND DOWNSPOUTS: ROOFDRAINS AND PVC DOWN PIPES. TIGHTLINE TO STORM DRAINAGE SYSTEM PER CIVIL DRAWINGS. SEE ROOF PLAN ON DRAWING A2.5
8. ADDRESS LETTERING: PLACE 14" HIGH ADDRESS WITH RAISED METAL NUMBERS AND LETTERS ABOVE DOOR. NUMBERS SHALL CONTRAST WITH THE BACKGROUND SIDING.
9. STEEL STAIRS W/ CONCRETE TREADS: PREFABRICATED STEEL STAIRS PER MANUFACTURER. REFER TO STAIR SECTIONS SHEET A4.2.
10. VINYL WINDOWS: INSULATED VINYL WINDOWS (U-VALUE < 0.30 AND SHGC < 0.40)
11. FLAT METAL SIDING: 26 GAUGE PREFINISHED FLAT METAL PANELS.
- 12 & 13. METAL TRIM: PER MANUFACTURER
14. BUILDING SIGN: 18'-0" X 3'-4" REECE SIGN PER SEPARATE PERMIT.
15. REDUCED VERTICAL CLEARANCE: PROVIDE 2" T.S. RAILS BELOW STAIR TO CREATE BARRIER PER ICGI 307.4.

2018 WSEC LIGHTING ALLOWANCES	
Table C405.5.3.(2)	
BUILDING FACADES	TOTAL FACADE WALL AREA = 8520 S.F. FACADE WALL AREA X WSEC ALLOWED WATTS/S.F. = TOTAL ALLOWED WATTS: 8520 X .075 W/SF = 639 TOTAL ALLOWED WATTS ON BUILDING FACADES. TOTAL WATTAGE= 492 WATTS
LIGHT LEGEND	
	WALL MOUNTED @ 75W EACH (20W) LED MATT EQUIVALENT (4) X 75W = 300 W
	WALL PAC @ 100W EACH (32 W) LED MATT EQUIVALENT 6X32= 192 W



ELEVATION LEGEND

- ⊙ ELEVATION NOTES
- ⊞ WINDOW PER SCHEDULE ON DWG. A5.1

EXTERIOR COLORS

- C1 PAINT
- C2 PAINT
- C3 PAINT
- C4 PAINT
- C5 MANUFACTURERS STANDARD COLOR

CITY OF ARLINGTON
CONSTRUCTION DRAWING REVIEW APPROVAL
THIS PLAN SHEET HAS BEEN REVIEWED AND APPROVED PER THE CONDITIONS ON THE TITLE SHEET.
BY: Nova Heaton, PE, Development Services Manager
DATE: _____ THIS APPROVAL IS VALID FOR 18 MONTHS

Job Number
PLN-866

Drawing:
A3.1

20c-4254

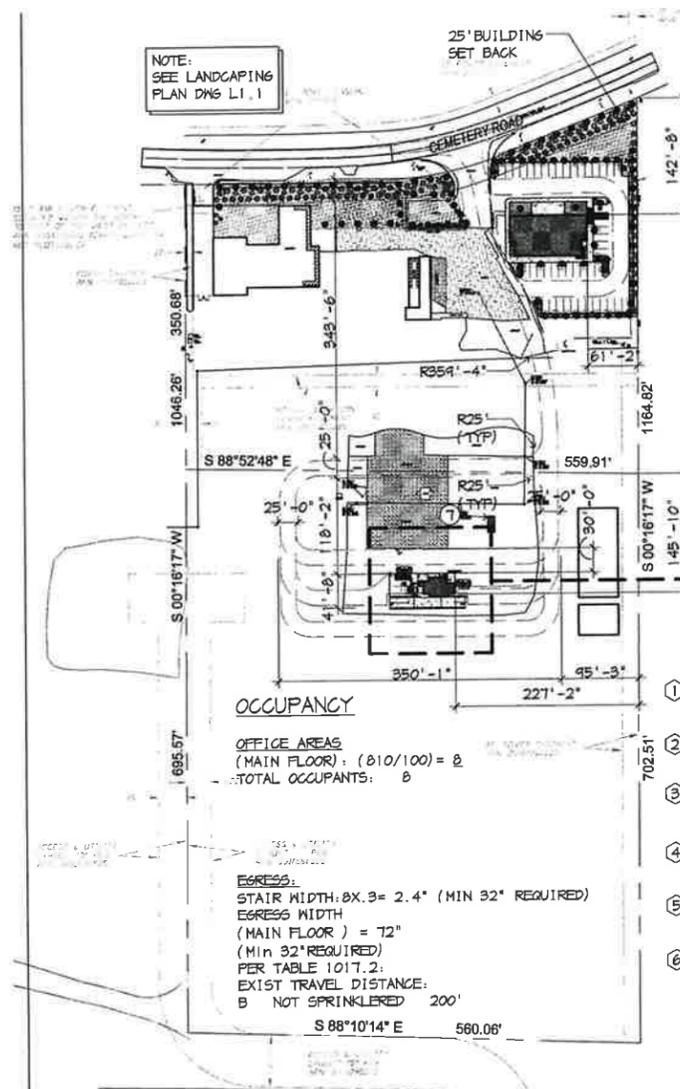
Date:	29 JANUARY 21	FOR PERMIT
	28 MAY 21	REVISION 1
	15 JULY 21	DESIGN REVIEW
	18 AUGUST 21	DESIGN REVIEW REVISION 2



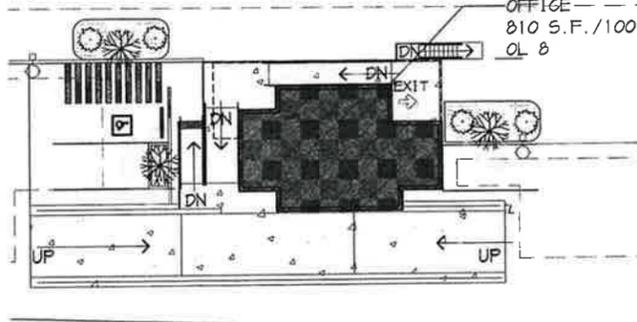
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A New Operations Building for:
REECE CONSTRUCTION
5802 Camellary Road
Arlington, Washington
ELEVATIONS OFFICE BUILDING



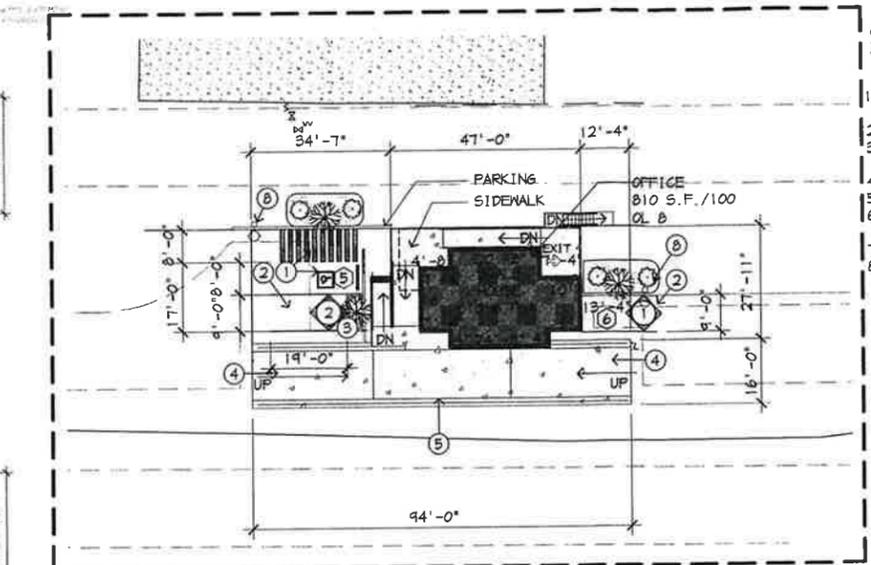
SITE PLAN
1" = 100'-0"



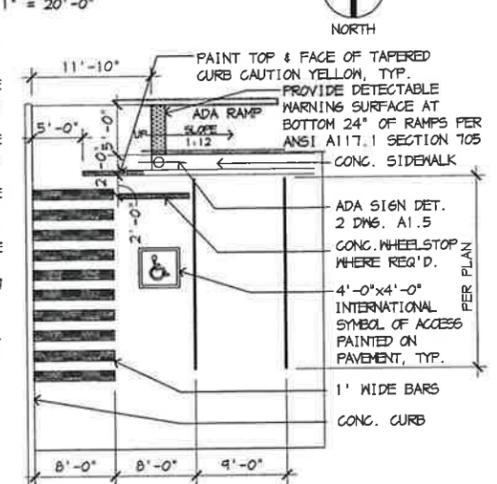
OCCUPANCY PLAN MAIN FLOOR

PLUMBING FIXTURE ANALYSIS

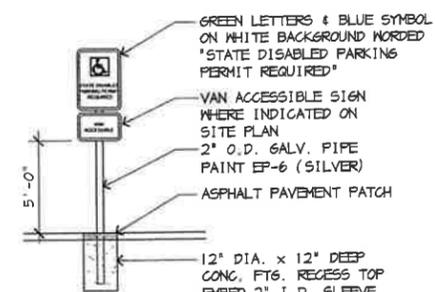
WATERCLOSETS			
OCCUPANCY	OCC. LOAD	WOMEN	MEN
B	8	4/25 = 16 1 REQUIRED	4/25 = 16 1 REQUIRED
LAVATORIES			
B	8	4/40 = 0.10 1 REQUIRED	4/40 = 0.10 1 REQUIRED
TOTAL PROVIDED		1	1



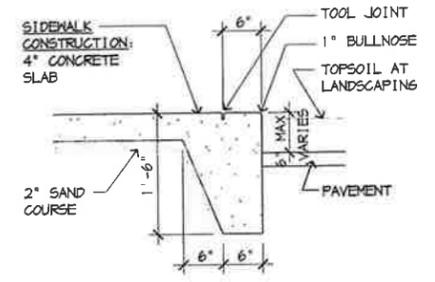
ENLARGED SITE PLAN
1" = 20'-0"



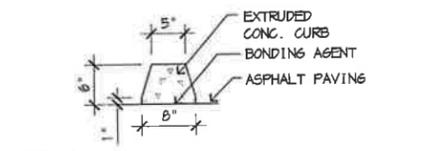
1 ADA PARKING STALL
NO SCALE



2 ACCESSIBLE SIGN
NO SCALE



3 CONCRETE SIDEWALK
NO SCALE



4 CONCRETE CURB
1" = 1'-0"

SITE PLAN NOTES

- HANDICAP PARKING W/ CURB CUTS AND SIGNS PER DETAILS 1,245 DNS A1.1
- NEW PARKING STALL
- CONCRETE SIDEWALKS WITH THICKENED EDGES PER DETAIL 3 DNS A1.1
- LANDING PER CIVIL.
- SCALE PER MANUFACTURER.
- NEW 1:12 ADA RAMP. SEE RAMP PLAN DNS A2.1
- EXISTING TRASH AREA
- PARKING LOT LIGHT SEE DNS L1.1 FOR DETAILS

PROJECT CRITERIA

SCOPE OF WORK
NEW TWO STORY OFFICE BUILDING.
TAX ACCOUNT NO. 31051500200800, 31051500200700

LEGAL DESCRIPTION
SECTION 15 TOWNSHIP 31 RANGE 05 QUARTER NW PAR B PER CITY ARL BLA PROJ FILE NO PLN-468 REG APN 201811305002; BEING PTN OF SE1/4 NE1/4 SD SEC

Section 15 Township 31 Range 5 Quarter NW PAR A PER CITY ARL BLA PROJ FILE NO PLN-468 REG APN 201811305002; BEING PTN OF SE1/4 NE1/4 SD SEC

CODES
2015 INTERNATIONAL BUILDING CODE (IBC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 INTERNATIONAL FIRE CODE (IFC)
2015 UNIFORM PLUMBING CODE (UPC)

BUILDING CRITERIA
ZONING: 61
PERMISSIBLE USES: 4.120 (TABLE: 20.72-1)
MAX. HEIGHT: 50 F
OCCUPANCY: B
CONSTRUCTION TYPE: VB
FIRE SPRINKLER: NO
FIRE ALARM: NO
PROPERTY SIZE: 4.88 + 8.98
TOTAL: 13.86 ACERS

PARKING CALCULATIONS

REQUIRED PARKING:
PERMISSIBLE USE: 4.120
TABLE 20.40-1 Use: 4.120
TABLE: 20.72.1
1 SPACE PER 400 SQUARE FEET OF 6.F.A.
OFFICE:
MAIN FLOOR: 810 6.F.A.
1 PER 400 SF GROSS FLOOR AREA (810 6.F.A.)/400 = 2 STALLS
TOTAL REQUIRED: 2 STALLS
PARKING PROVIDED: 3 STALLS

PER TABLE 1106.1.
1 ACCESSIBLE PARKING SPACES ARE REQUIRED

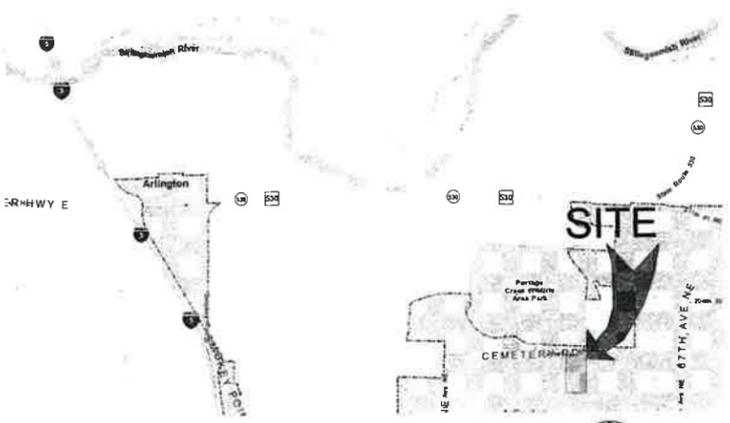
UTILITY DISTRICTS

POWER: FUD
WATER: ARLINGTON WATER DEPARTMENT
SEWER: CITY OF ARLINGTON
TELEPHONE: -

SEPARATE SUBMITTALS

ELECTRICAL
MECHANICAL
PLUMBING
SIGNS
SCALE

*NOTE: THE ARCHITECT OF RECORD SHOULD STAMP SUBMITTALS AS REVIEWED AND TO FORWARD THE SUBMITTALS TO THE BUILDING OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO THE PERFORMANCE OF WORK.



VICINITY MAP
1" = 1'-0"

DRAWING INDEX

NO.	DESCRIPTION
CIVIL	C1.0 DEMO & SHPPP PLAN
	C2.0 SEWER & WATER PLAN
	C3.0 STORM DRAINAGE PLAN
	C3.1 DRAINAGE PROFILES & DETAILS
	C4.0 PAVING PLAN
	C4.1 STANDARD NOTES
	C4.2 CITY DETAILS
ARCHITECTURE	A1.1 SITE PLAN & SITE DETAILS
	L1.1 LANDSCAPE PLAN
	A2.1 FLOOR PLAN AND REFLECTED CEILING PLAN
	A3.1 EXTERIOR ELEVATIONS
	A4.1 BUILDING SECTIONS
	A5.1 DOOR, WINDOW AND FINISH SCHEDULES
	A5.2 INTERIOR REST ROOM ELEVATIONS, CABINETS AND FIXTURE HEIGHTS
	A5.3 DETAILS
STRUCTURAL	S1.0 - General Structural Notes
	S1.1 - General Structural Notes
	S1.2 - General Structural Notes
	S2.0 - Foundation Plan
	S2.1 - Roof Framing Plan
	S3.0 - Foundation Details
	S4.0 - Wood Details
	S4.1 - Wood Details
	S4.2 - Wood Details
	S5.0 - Steel Details



CITY OF ARLINGTON
CONSTRUCTION DRAWING REVIEW ACKNOWLEDGMENT

THIS PLAN HAS BEEN REVIEWED AND EVALUATED FOR GENERAL COMPLIANCE WITH THE CITY OF ARLINGTON CODES AND ORDINANCES. CONFORMANCE OF THE DESIGN WITH ALL APPLICABLE LAWS AND REGULATIONS IS THE FULL AND COMPLETE RESPONSIBILITY OF THE LICENSED DESIGN ENGINEER WHOSE STAMP AND SIGNATURE APPEAR ON THIS SHEET. ACKNOWLEDGMENT OF CONSTRUCTION DRAWING REVIEW DOES NOT IMPLY CITY APPROVAL FOR CONSTRUCTION ACTIVITIES THAT REQUIRE OTHER COUNTY, STATE OR FEDERAL PERMIT REVIEW AND APPROVAL. THE PROPERTY OWNER AND LICENSED DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE ACQUISITION AND COMPLIANCE OF ALL APPLICABLE PERMITS AND/OR AUTHORIZATION WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WSP/WHYDRALIC PROJECT APPROVAL (HPA), WSP/WHYDRALIC INTENT (WU) ARJLY CORP OF ENGINEERS FILL PERMITS AND THE REQUIREMENTS OF THE (NO) ENDANGERED SPECIES ACT

BY: Novo Haster PE, Developmental Services Manager DATE: _____

THESE APPROVED CONSTRUCTION PLANS EXPIRE AFTER 18 MONTHS FROM THE DATE SHOWN ABOVE OR UPON EXPIRATION OF PRELIMINARY PLAN OR SITE PLAN APPROVAL.

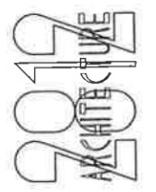
Job Number: **20c-4254**

PLN-866

Date:	For:
24 JANUARY 21	FOR PERMIT
28 MAY 21	REVISION 1
15 JULY 21	DESIGN REVIEW
18 AUGUST 21	DESIGN REVIEW REVISION



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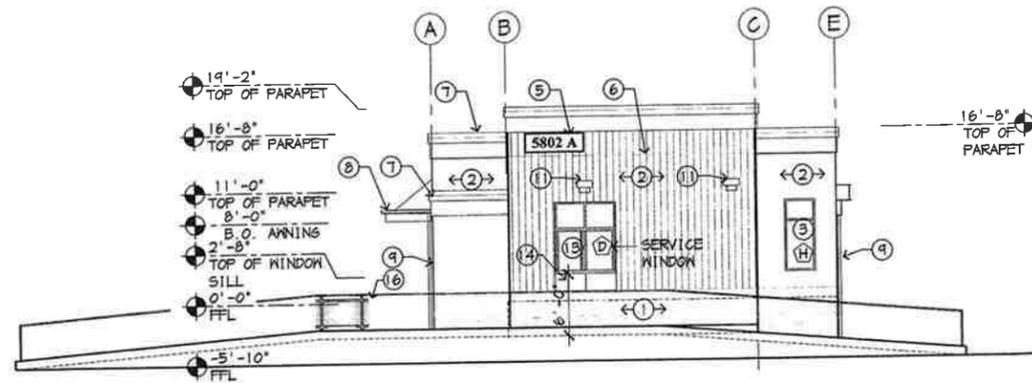


A New Operations Building for:
REECE CONSTRUCTION
5802 Cemetery Road
Arlington, Washington

Drawing: **A1.1**

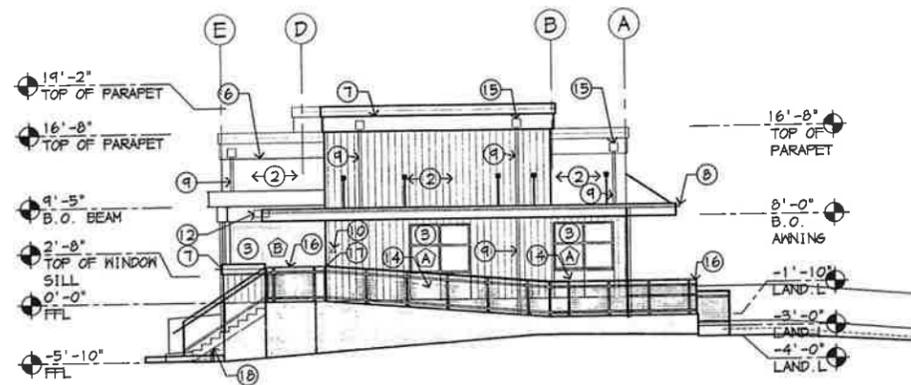
Job Number: **20c-4254**

PLN-866



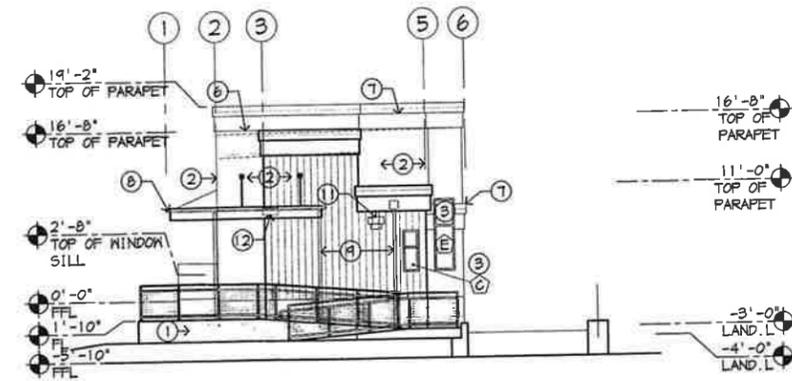
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



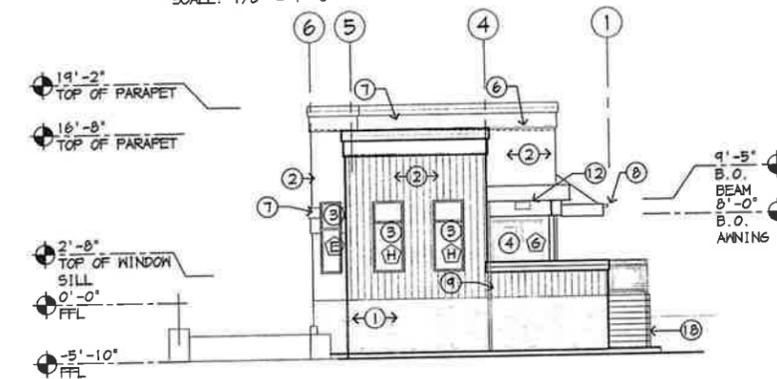
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION NOTES

- STONE VENEER BASE, PREMANUFACTURED STONE VENEER PER MANUFACTURER INSTALLATION SPECIFICATIONS.
- METAL BUILDING SIDING: 26 GA. PREFINISHED METAL BUILDING PANEL.
- VINYL FLANGE WINDOW: INSULATED VINYL FLANGE WINDOW W/ 1" INSULATED GLASS. SEE WINDOW SCHEDULE DWG. A5.1.
- STOREFRONT DOOR & FRAME: SEE DOOR SCHEDULE DWG. A5.1
- ADDRESS LETTERING: PLACE 14" HIGH ADDRESS WITH RAISED METAL NUMBERS AND LETTERS ABOVE DOOR. NUMBERS SHALL CONTRAST WITH THE BACKGROUND SIDING.
- TPO ROOF ON T & I FRAMING - REFER TO ARCHITECTURAL BUILDING SECTIONS DWG A4.1 AND STRUCTURAL DRAWINGS FOR CONNECTIONS.
- PREFINISHED METAL FLASHING: SEE EXTERIOR COLOR LEGEND FOR DETAILS.
- PREFINISHED METAL GUTTER: SEE EXTERIOR COLOR LEGEND FOR DETAILS.
- SCHEDULE 40 PVC DOWNSPOUT. PAINT TO MATCH ADJACENT WALL.
- FIRE DEPARTMENT KEY BOX. WITH BUILDING ACCESS KEYS. CONTACT LOCAL FIRE DEPARTMENT TO OBTAIN.
- LIGHT FIXTURE: COORD. W/ ELECTRICAL.
- EMERGENCY AND MEANS OF EGRESS LIGHT FIXTURE. FIXTURE SHALL BE CONTROLLED BY LIGHT SENSOR SO THAT IT IS LIGHTED AT ALL NON-DAYLIGHT HOURS. PROVIDE AN EMERGENCY POWER SUPPLY WITH A MINIMUM DURATION OF 90 MINUTES FOR THIS FIXTURE. ALSO, SEE REFLECTED CEILING PLAN DWG A2.1
- STOREFRONT FRAMING W/ 1" INSULATED GLASS. SEE WINDOW SCHEDULE DWG A5.1.
- FLAT METAL SIDING: 26 GAUGE PREFINISHED FLAT METAL PANELS.
- METAL COLLECTOR BOX AT SCUPPER: DET B DWG A5.3
- GUARDRAIL: DET 16 DWG A5.3
- GUARDRAIL: DET 13 DWG A5.3
- STAIR DETAIL. DET 20 DWG A5.3



EXTERIOR COLORS

- C1 PAINT
- C2 PAINT
- C3 PAINT
- C4 PAINT
- C5 MANUFACTURERS STANDARD COLOR

ELEVATION LEGEND

- (X) ELEVATION NOTES
- (X) WINDOW PER SCHEDULE ON DWG. A5.1

2018 WSEC LIGHTING ALLOWANCES
Table C405.5.3.(2)

BUILDING FACADES	TOTAL FACADE WALL AREA = 2201 S.F. FACADE WALL AREA X WSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS. 2201 X .075 W/SF = 165 TOTAL ALLOWED MATTS ON BUILDING FACADES. TOTAL MATTAGE= 156 MATTS
BUILDING WALKWAYS < 10" WIDE	TOTAL 5' WIDEMALK LIN.FT =87 S.F. WALKWAY LIN.FT WSEC ALLOWED MATTS/S.F. = TOTAL ALLOWED MATTS. 108 S.F. X .5 W/LIN.FT = 54 MATTS ALLOWED AT 5' WALK WAYS. TOTAL AT WALK WAYS 54 MATTS

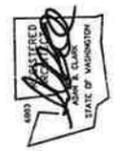
LIGHT LEGEND

A	WALL MOUNTED @ 75W EACH (20W) LED MATT EQUIVALENT (3) X 20W = 60 W
B	WALL PAC @ 100W EACH (32 W) LED MATT EQUIVALENT 2X32= 96 W SEE DETAIL 3 DRAWING L1.1

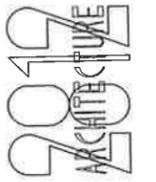
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PLN-866 20c-4254

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A New Operations Building for:
REECE CONSTRUCTION
5902 Cemetery Road
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Drawing:
A3.1

EXTERIOR ELEVATIONS (SCALE HOUSE)